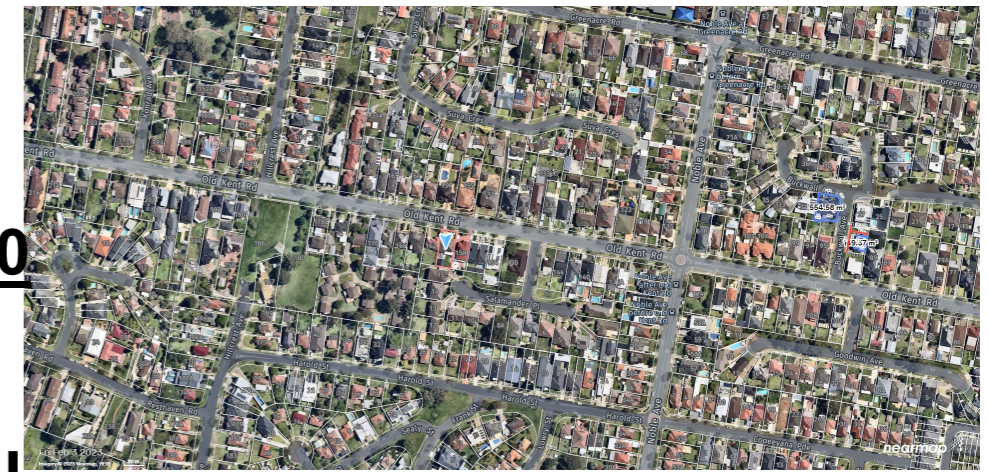


DA APPROVED SECONDARY DWELLING  
FOR MODIFICATION  
DA-1531/2023  
160 OLD KENT ROAD, MT LEWIS NSW 2190  
LOT2 - DP212104  
FOR: CHARLIE FARAH  
CANTERBURY BANKSTOWN CITY COUNCIL



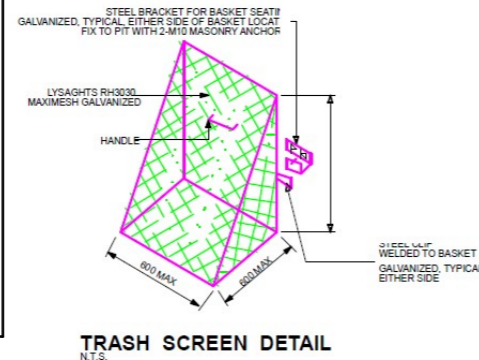
Sheet List

Sheet Number	Sheet Name
A01	COVER SHEET
A02	SITE PLAN
A03	GROUND FLOOR & ROOF PLAN
A04	ELEVATION
A05	SECTION + SCHEDULES + BASIX
A06	SCHEDULE OF FINISHES
A07	EXISTING FLOOR AREA PLAN

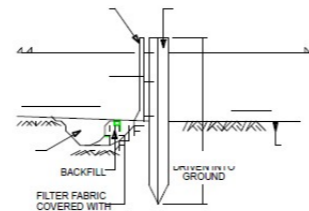
GENERAL BASIX CALCULATIONS & COMMITMENTS. #: 1412519S\_02  
DATED 08/01/2024

1. SHOWER HEADS MUST BE 4 STAR.
2. TOILETS MUST BE 6 STAR.
3. TAPS MUST BE 6 STAR.
4. BATHROOM TAPS MUST BE 6 STAR.
5. RAINWATER TANK 2500L TO COLLECT 90m<sup>2</sup> OF ROOF AREA. TO CONNECT TO ALL TOILETS & OUTDOOR TAP.
6. R3.5 BRICK VENEER EXTERNAL WALLS.
7. R4.5 CEILING INSULATION.
8. FOIL SISALATION IN ROOF.
9. DARK ABSORPTION ROOF
10. ONE CEILING FAN IN LIVING ROOM
11. WEATHER STRIPPING TO ALL EXTERNAL WINDOWS & DOORS.
12. ALL WINDOWS SHALL BE: ALUMINIUM STANDARD SINGLE-GLAZED OR (U-value: <=4, SHGC: 0.33 - 0.40).
13. HOT WATER SYSTEM: GAS - 6 STAR
14. 1-PHASE DUCTED AIR CON SYSTEM - 7.5 STAR RATING
15. MECHANICAL VENTS REQUIRED.
16. GAS COOKTOP + ELEC OVEN
17. LED LIGHTS ONLY
18. CLOTHES LINE REQUIRED.

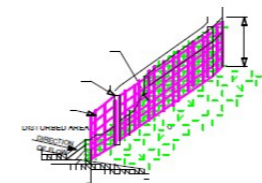
CALCULATION TABLE - DEVELOPMENT APPLICATION			
Item	Required	Compliance	Comments
Lot Area	450m2	557.4m2	Existing
Existing Ground Floor Area	-	77.2m2	Noted
Existing First Floor Area	-	112.4m2	Noted
Existing Garage	-	40.8m2	Noted
Existing Garage Floor Area	-	11.1m2	Noted
Proposed Secondary Dwelling	60m2	59.95m2	Complies
Total Floor Area	278.7m2	260.65m2	Complies
FSR	0.5:1 (278.7m2)	0.468:1	Complies
Building Height - Secondary Dwelling	6m	Single Storey	Complies
Zoning	R2	R2	Complies
Storeys	1	1	Complies
Side Setbacks	900mm	900mm & 2.6m	Complies
Rear Setback	900mm	900mm	Complies
Private Open Space (min width 5m)	80m2	>100m2	Complies
Roof Pitch	max 35deg	17.5 deg	Complies
Maximun wall Height from NSL	3.0m	2.936m	Complies
Solar Access - Living Area	3 hours	3 hours +	Complies
Solar Access - Living Area Neighbouring	3 hours	3 hours +	Complies
Solar Access - 50% POS	3 hours	3 hours +	Complies



TRASH SCREEN DETAIL  
N.T.S.



TYPICAL SEDIMENT FENCE SECTION  
SCALE 1:20



SEDIMENT FENCE

FOR DA MODIFICATION

NOTES

1. ALL DIMENSIONS AND FLOOR AREAS ARE TO BE VERIFIED BY THE BUILDER AND A REGISTERED SURVEYOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
2. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
3. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
4. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK.
5. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
6. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.
7. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
8. ALL DEMOLITION AND REMOVAL WORK TO BE CARRIED OUT WITH APPROVED WASTE MANAGEMENT PLAN AND IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS & APPROVAL CONDITIONS.
9. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA) AND THE BUILDING CODE OF AUSTRALIA (BCA).
10. SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

SEDIMENT CONTROL NOTES

1. All erosion and sediment control measures, including revegetation and storage of soil and topsoil, shall be implemented to the standards of Soil Conservation of NSW.
2. All drainage works shall be constructed and stabilised as early as possible during construction.
3. Sediment traps shall be constructed and stabilised as early as possible 450mm wide by 450mm deep trench.
4. All sediment basins and traps shall be cleaned when structures are a maximum of 60% full of soil materials, including the maintenance period.
5. All disturbed areas shall be revegetated as soon as the relevant works are completed.
6. Soil and topsoil stockpiles shall be located away from drainage lines and areas where water may congregate.
7. Filter shall be constructed by stretching a filter fabric (propex or approved equivalent) between posts at 3.0m centres. Fabric shall be buried 150mm along its lower edge.
8. Refer to concept stormwater engineering for clarity and structure details.



31B BUCKWALL AVENUE,  
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SIGNED: *Nouhad Farah*  
  
NOUHAD FARAH  
B.E, MIE AUST, NER, CPENG  
MEMBERSHIP NUMBER: 3312640

No.	Description	Date
1.0	ISSUE FOR DA APPROVAL	08/01/2024
1.1	ISSUE FOR DA MODIFICATION	27/02/2025

CLIENT: CHARLIE FARAH

160 OLD KENT ROAD, MT LEWIS - SECONDARY DWELLING - LOT2, DP212104

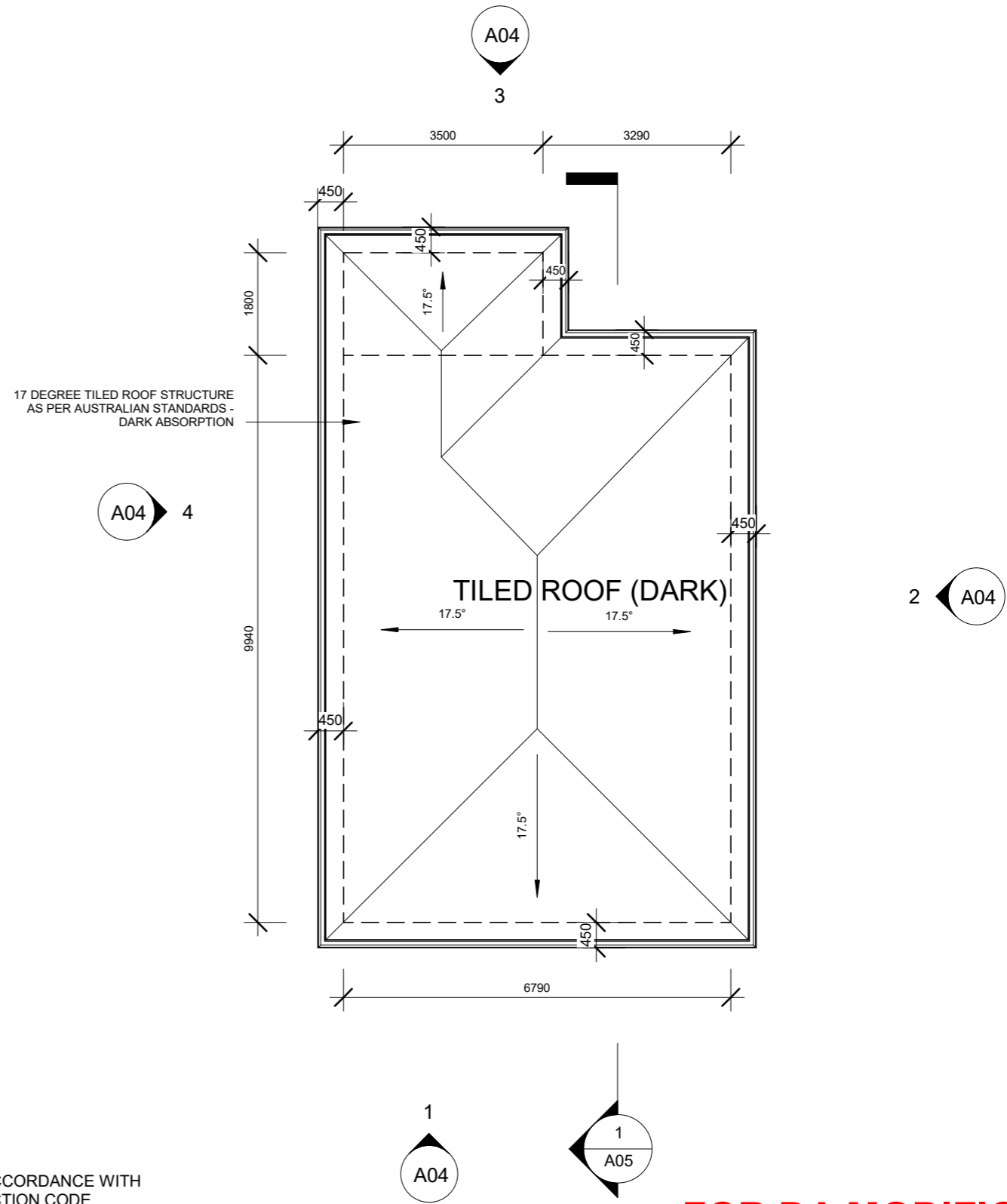
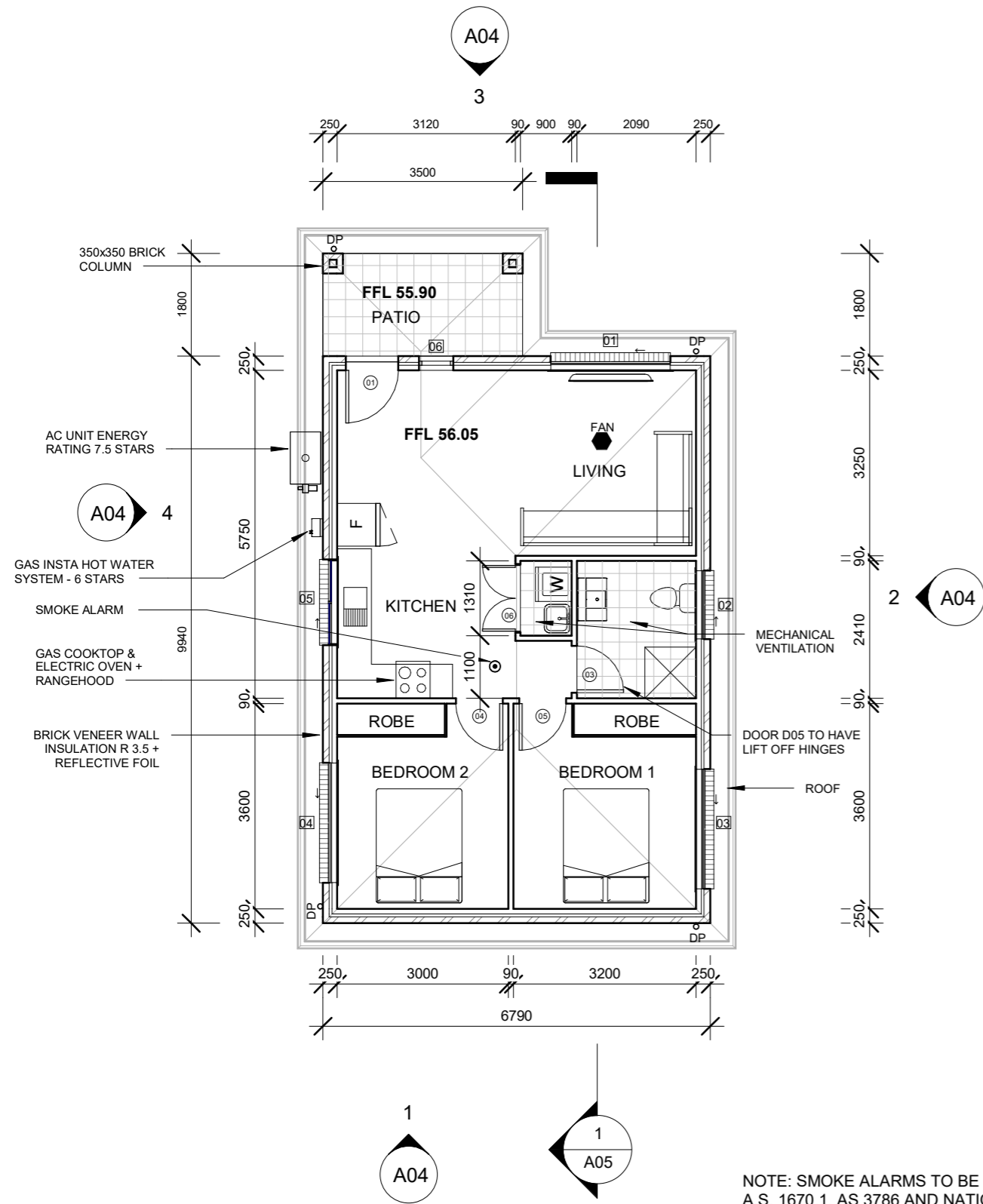
COVER SHEET

A01

Scale	@ A3
Project number	SYD23/376
Date	27/02/2025
Drawn by	NL CONS
Checked by	N. FARAH

NOTES:  
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2. Drawings to be read in conjunction with specification.  
3. Levels are indicative only and are to be checked.  
4. Authorities mains and or existing services are to be located and checked prior to commencement of any works.  
5. The information on this drawing is to be used for site hydraulic and or fire protection services only.  
6. The information on this drawing remains the property of Nouhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright.  
7. Completion of the quality record is evidence that the design and the drawing have been verified.





NOTE: SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH A.S. 1670.1, AS 3786 AND NATIONAL CONSTRUCTION CODE

**FOR DA MODIFICATION**



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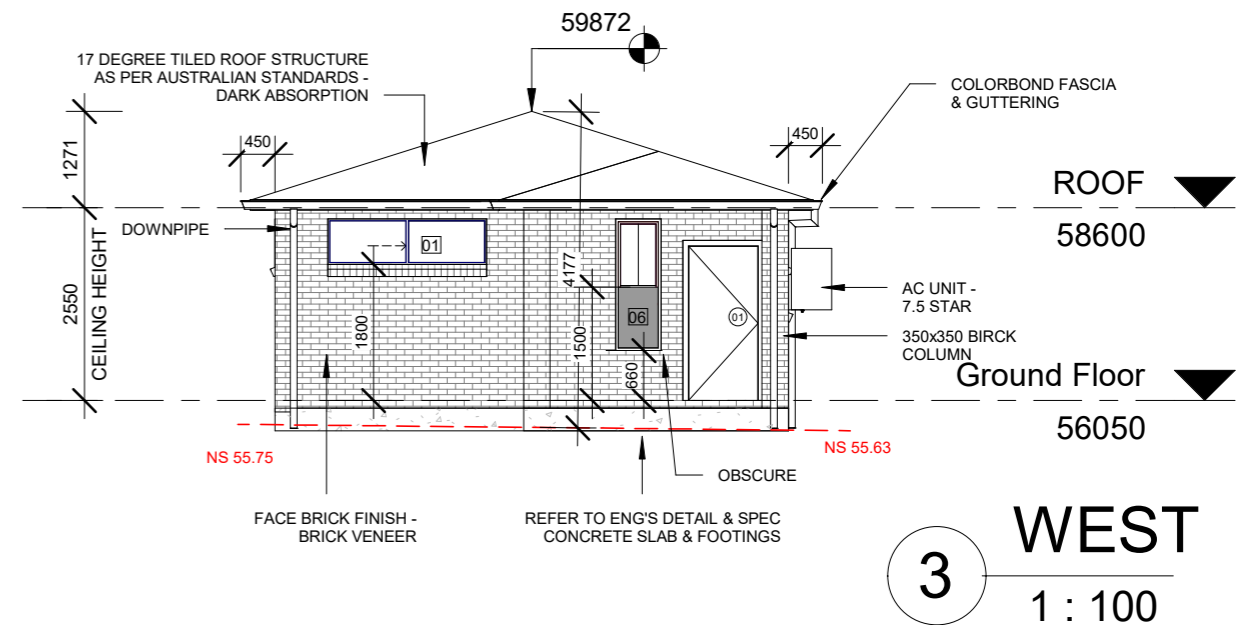
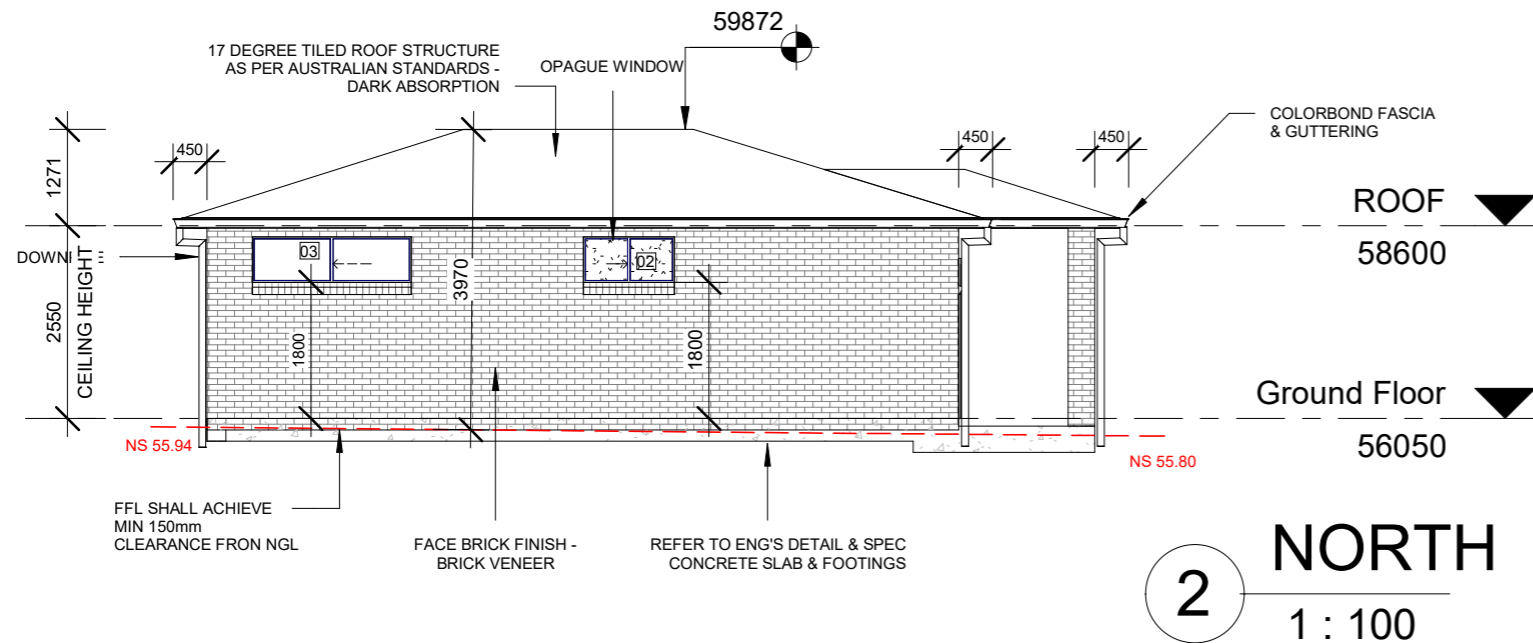
160 OLD KENT ROAD, MT LEWIS - SECONDARY  
DWELLING - LOT2, DP212104

GROUND FLOOR & ROOF PLAN

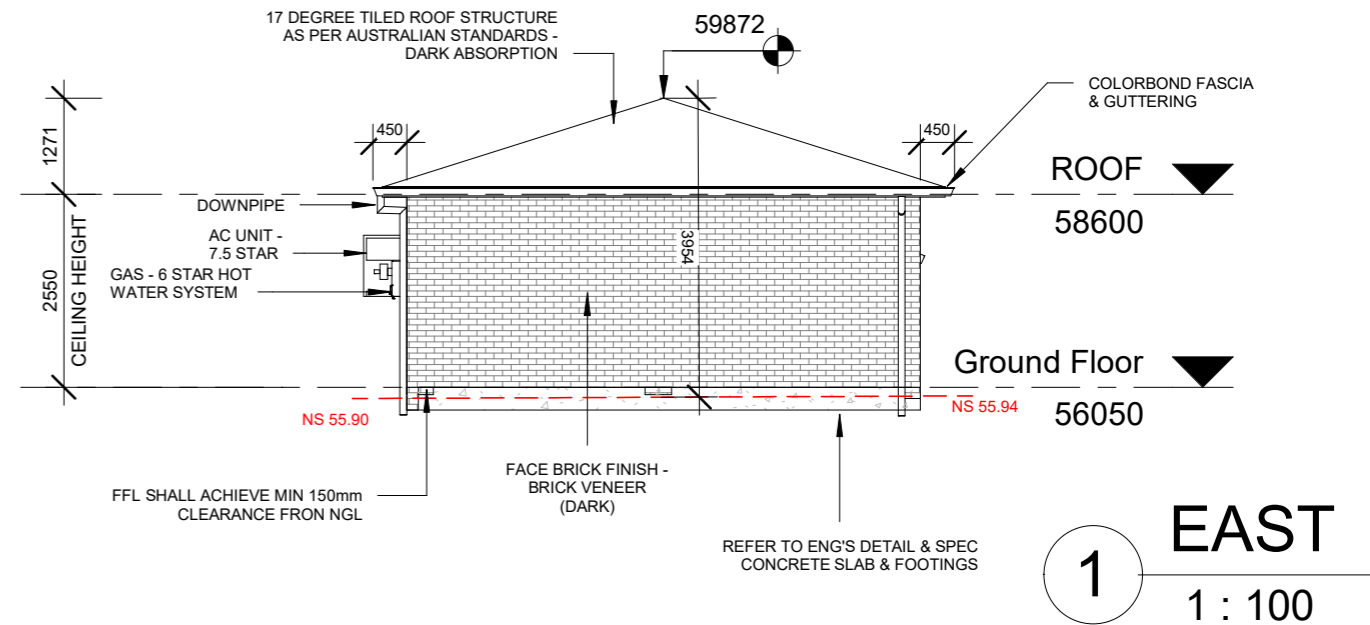
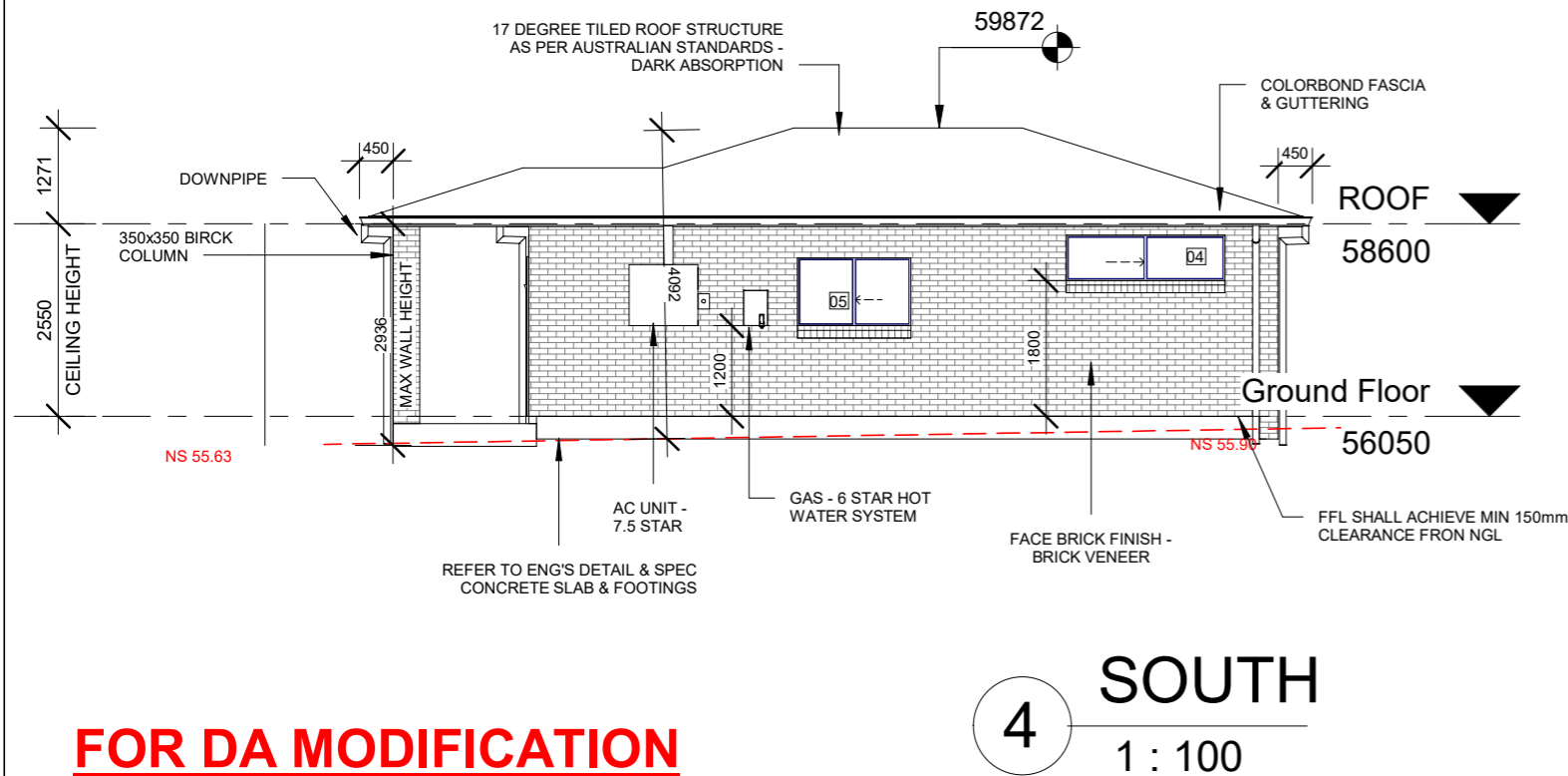
A03

Scale	1 : 100 @ A3
Project number	SYD23/376
Date	27/02/2025
Drawn by	NL CONS
Checked by	N. FARAH

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SCHEDULE OF FINISHES	
1.	TILED ROOF - MEDIUM ABSORPTION - GREY
2.	HUMES ENTRY DOOR - OFF WHITE
3.	PANEL GARAGE DOOR - COLORBOND SIRFMIST
4.	BRICK VENEER FACE - PGH - TRUFFLE
5.	WINDOWS - COLORBOND FRAME - MONUMENT
6.	FACIA & GUTTERS - COLORBOND SHALE GREY
7.	DOWNPIPE - UPVC PAINTED BLACK



**FOR DA MODIFICATION**



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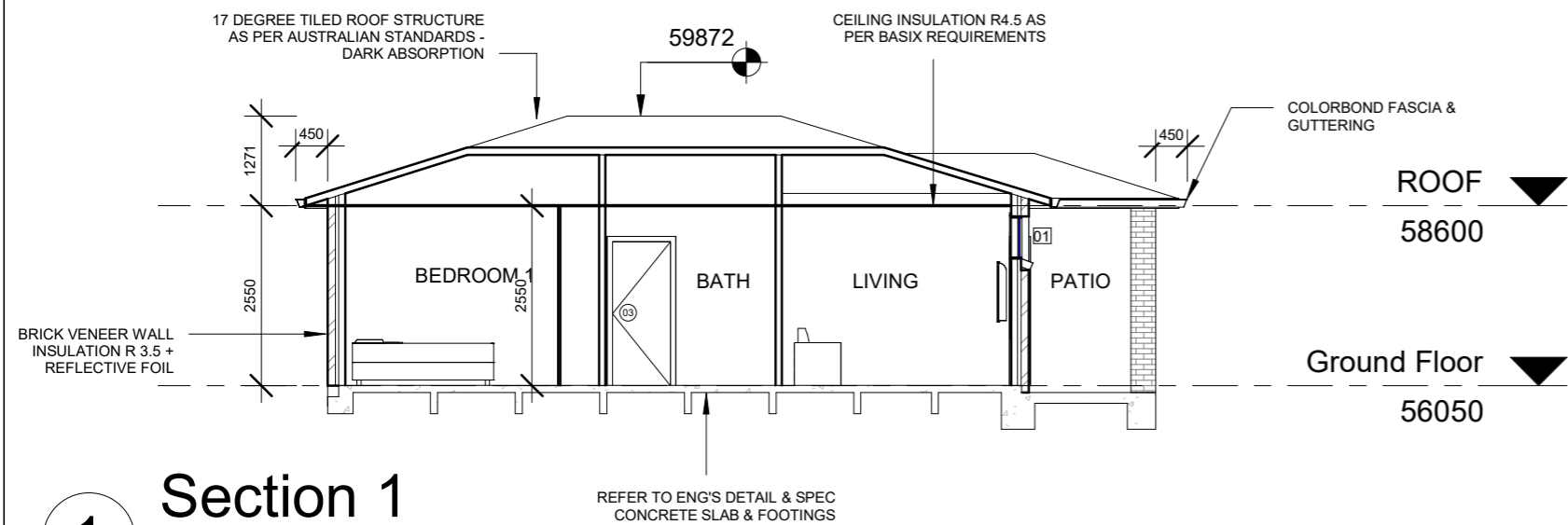
160 OLD KENT ROAD, MT LEWIS - SECONDARY  
DWELLING - LOT2, DP212104

ELEVATION

A04

Scale	1 : 100 @ A3
Project number	SYD23/376
Date	27/02/2025
Drawn by	NL CONS
Checked by	N. FARAH

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1

# Section 1


1 : 100

Door Schedule					
Level	Mark	Height	Width	Finish	Comments
Ground Floor	01	2040	920	TIMBER	ENTRY
Ground Floor	03	2040	820	TIMBER	BATHROOM
Ground Floor	04	2040	820	TIMBER	BEDROOM 2
Ground Floor	05	2040	820	TIMBER	BEDROOM 1
Ground Floor	06	2040	1150	TIMBER BIFOLD	LAUNDRY

Ground Floor: 5  
Grand total: 5

Window Schedule								
Mark	Window Style	Width	Height	Material	Glazing	Remarks	Sill Height	Head Height
01	SLIDING WINDOW	2100	600	POWDERCOATED ALUMINIUM	STANDARD CLEAR (U-value: <=4, SHGC: 0.33 - 0.40)	LIVING	1800	2400
02	SLIDING WINDOW	1200	600	POWDERCOATED ALUMINIUM	STANDARD OPAGUE (U-value: <=4, SHGC: 0.33 - 0.40)	BATHROOM	1800	2400
03	SLIDING WINDOW	2100	600	POWDERCOATED ALUMINIUM	STANDARD CLEAR (U-value: <=4, SHGC: 0.33 - 0.40)	BEDROOM 1	1800	2400
04	SLIDING WINDOW	2100	600	POWDERCOATED ALUMINIUM	STANDARD CLEAR (U-value: <=4, SHGC: 0.33 - 0.40)	BEDROOM 2	1800	2400
05	SLIDING WINDOW	1500	900	POWDERCOATED ALUMINIUM	STANDARD CLEAR (U-value: <=4, SHGC: 0.33 - 0.40)	KITCHEN	1200	2100
06	FIXED / SLIDING WINDOW	600	1740	POWDERCOATED ALUMINIUM	STANDARD CLEAR / OBSCURE (U-value: <=4, SHGC: 0.33 - 0.40)	ENTRY	660	2400

FOR DA MODIFICATION



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SECTION + SCHEDULES + BASIX

A05		
Scale	1 : 100	@ A3
Project number	SYD23/376	
Date	27/02/2025	
Drawn by	NL CONS	
Checked by	N. FARAH	

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- SCHEDULE OF FINISHES
1. TILED ROOF - DARD ABSORPTION - MONUMENT

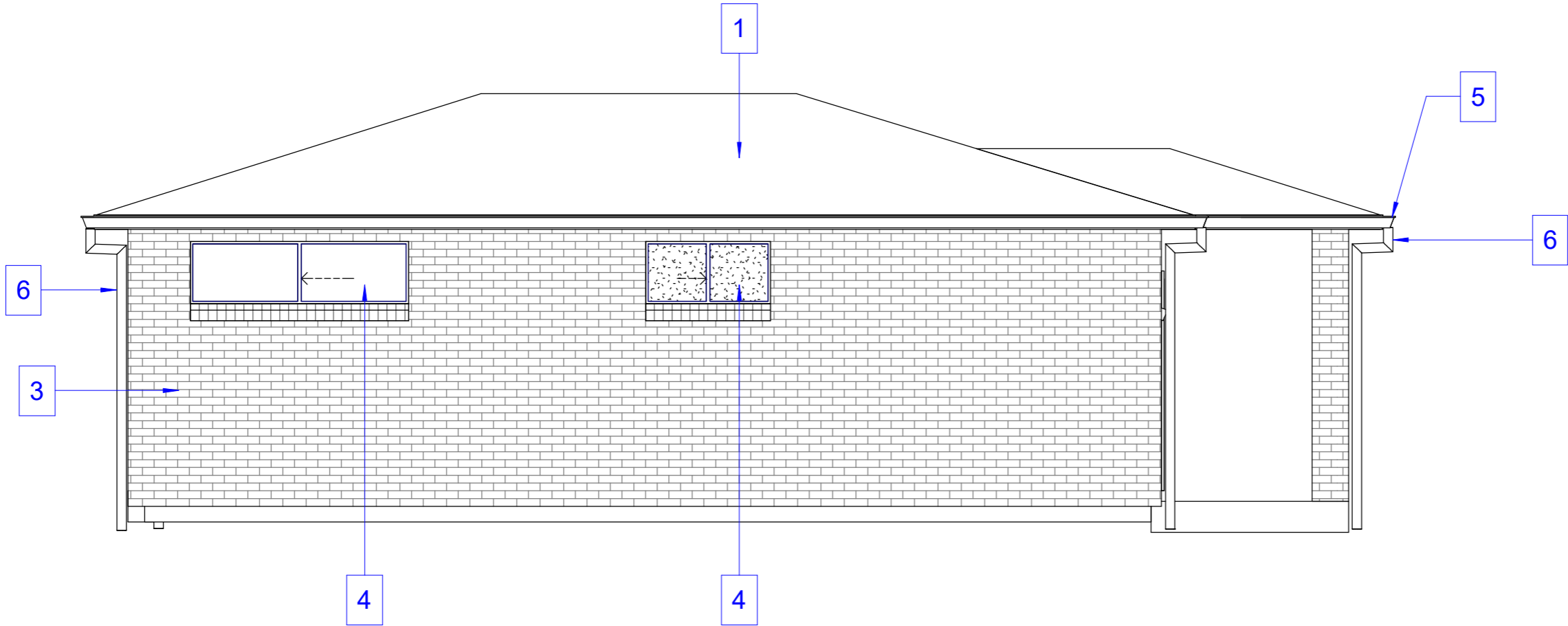
2. HUMES ENTRY DOOR - OFF WHITE

3. BRICK VENEER FACE - PGH - URBAN BLUE (DARK ABSORPTION)

4. WINDOWS - COLORBOND FRAME - MONUMENT

5. FACIA & GUTTERS - COLORBOND SHALE GREY

6. DOWNPIPE - UPVC PAINTED BLACK / MONUMENT



1

SCHEDULE OF FINISHES

1 : 50

FOR DA MODIFICATION